

CHAPTER 4: NEIGHBORHOOD FORM

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The Master Plan for the Northwest Quadrant has clustered six distinct neighborhoods in a way that respects the natural topography and provides each neighborhood with visual access to either the natural environment or an improved public park environment.

The built environment of the neighborhoods is shaped by the existing topographic land forms. One neighborhood sits just below the top of the ridge, another neighborhood sits down in a protected and quiet valley, while another neighborhood looks out over the historic downtown and river valley. The remaining neighborhoods nestle within the hills and valleys on the north side, preserving precious drainageways and open space corridors.

Each neighborhood has a distinct shape and set of close and long distant views. A fine grained network of streets, trails, and paths connect the neighborhoods and invite hiking, biking and car access.

Buildings and yard walls will hug the winding streets like Santa Fe's historic districts, and all buildings will be either pueblo flat-roofed or territorial pitched roof (expressed in either contemporary or traditional styling). The physical environment of the Northwest Quadrant will feel compatible with and complement the history of our town, while simultaneously being a unique contemporary expression of local artistry.

Within the continuity of NWQ styles, each neighborhood will also be distinct visually: each neighborhood's built environment will look different from the other neighborhoods.

Structuring Elements of Neighborhood Form

- Surrounding Neighborhood Context
- Topography and Neighborhood Form
- Hilltown Massing of Buildings
- Two Building Forms expressed in Traditional and Contemporary Styles
- Street types Lead to Defined Build To Lines for each Street
- Different Neighborhoods have Different Color Palettes
- Different Density and Use Zones overlay each Neighborhood
- Unit Types vary by Lot or Block

Using the NWQ Design Standards:

Intent

overarching purpose and vision

Standard

minimum requirement for all design and construction

Guideline

desired goal for exceptional construction

All six neighborhoods will have a set of exterior colors unique to that neighborhood. These colors will be expressed through the allowable exterior building materials, yard wall materials, and streetscape planting as plant material changes in color with each season.



CHAPTER 4: NEIGHBORHOOD FORM

Figure 4 - 1: NEIGHBORHOOD CONTEXT KEY

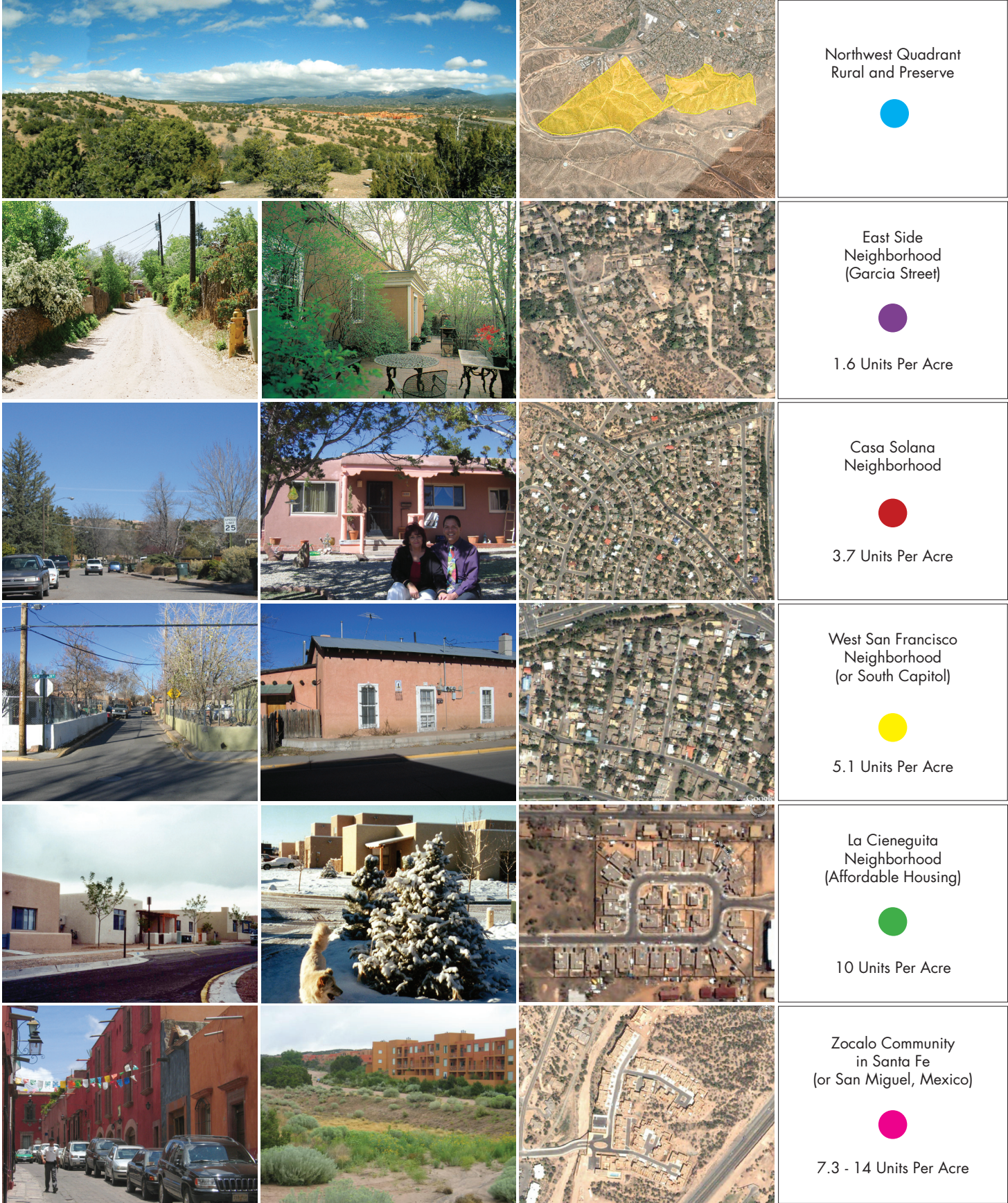
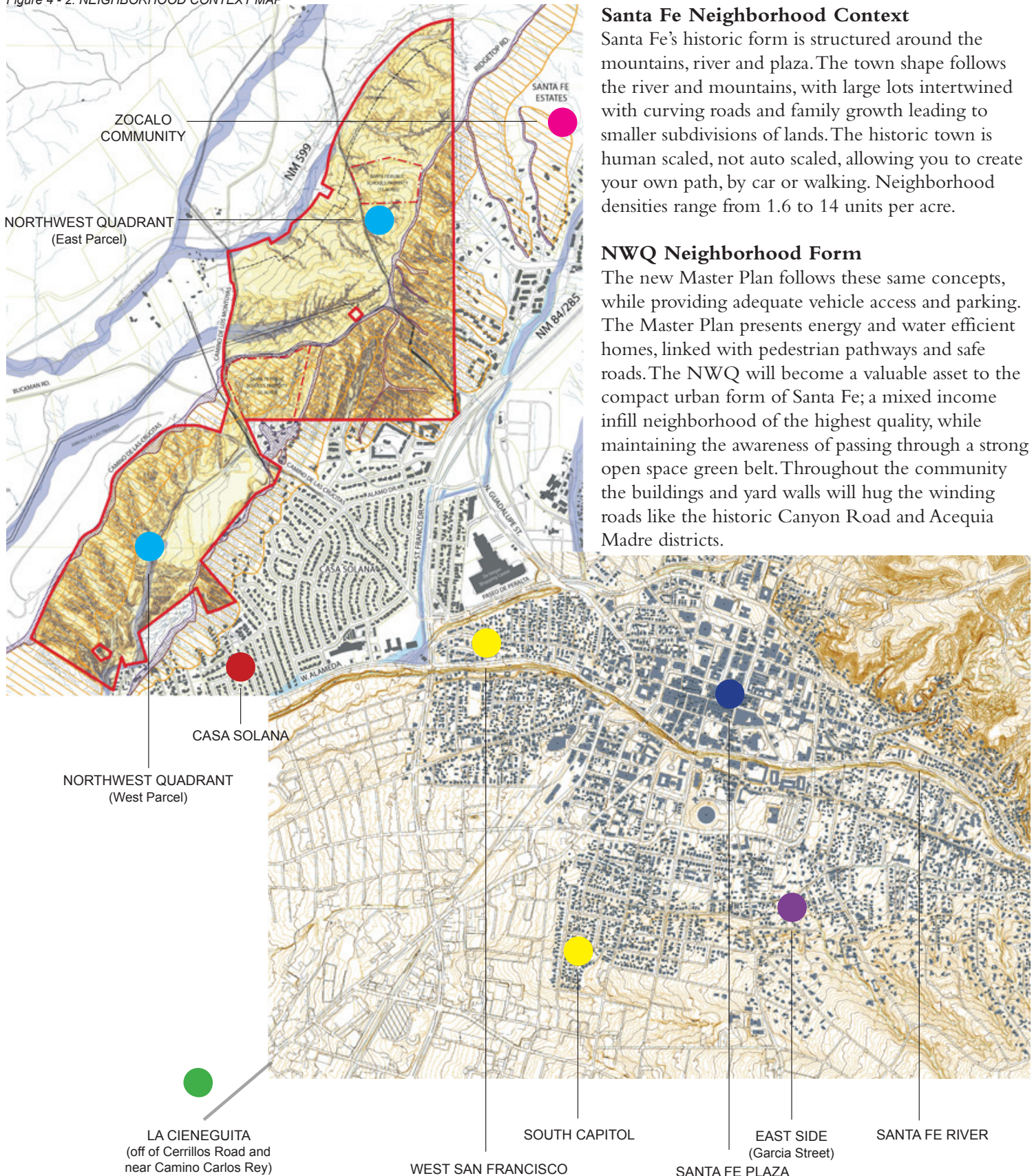


Figure 4 - 2: NEIGHBORHOOD CONTEXT MAP



CHAPTER 4: NEIGHBORHOOD FORM

A. Neighborhood Character

1. Massing

Intent

Community Views

The Northwest Quadrant can be seen from long distances: from downtown, from NM 599, and from the Santa Fe River. The views from downtown and the river will see the south escarpment, preserved as dominantly open space. The views from NM 599 on the north side will see clustered neighborhoods that follow the topography, reminiscent of old hill towns in Spain or Mexico, or of the homes on the east side of Santa Fe. Individual buildings will be massed like an old pueblo village, and will be constructed with a timeless and authentic mix of old and new materials.

Building Views

Buildings will step up and down the hills and valleys, providing surprising views and unique design opportunities. Due to homes looking over other homes, all buildings will have either flat roofs used as habitable decks, or small pitched roofs. Colors of roofs, decks, balconies, and walls will be based on New Mexican tree and soil colors (golds, rust oranges, browns, and greens). Color values will be more muted along the perimeters of the site and become more intense as they reach the mixed use center zones.

Landscape Views

The hike and bike trails along the ridge line park will entice visitors up to the ridge to see the view to the Sangre de Cristo mountains, downtown Santa Fe and the Sandia mountains. Visitors will discover the unique live-work-mixed-use-arts-and-crafts community nestled into the north side hills. It will be a vibrant community with many opportunities for jogging, strolling, walking and playing in the neighborhood center and within the ample open space areas. The network of drainageways and arroyos will be revegetated to encourage stormwater infiltration, plant diversity, and provide wildlife habitats.

Image 4-1: Earthen Roofs

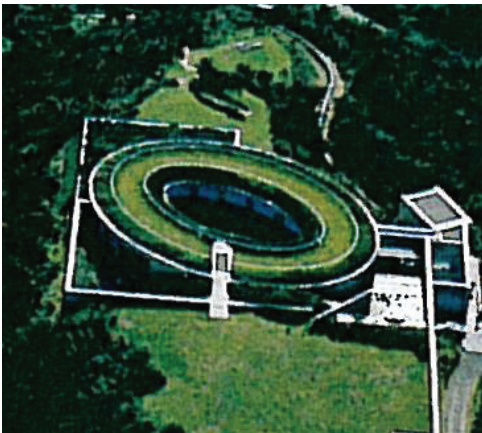


Image 4-2: Hilltown Massing



Figure 4 - 3: TERRAIN MODEL

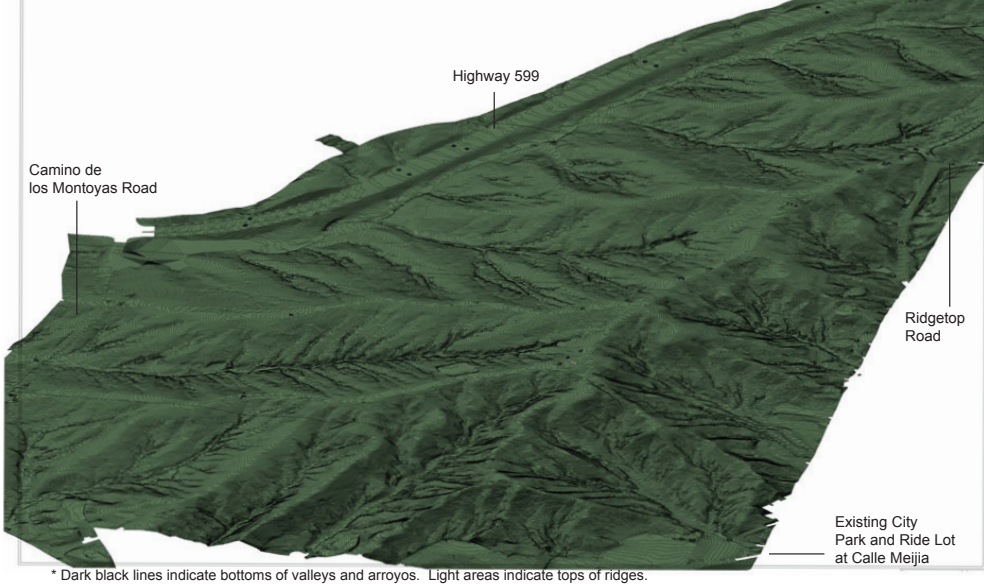
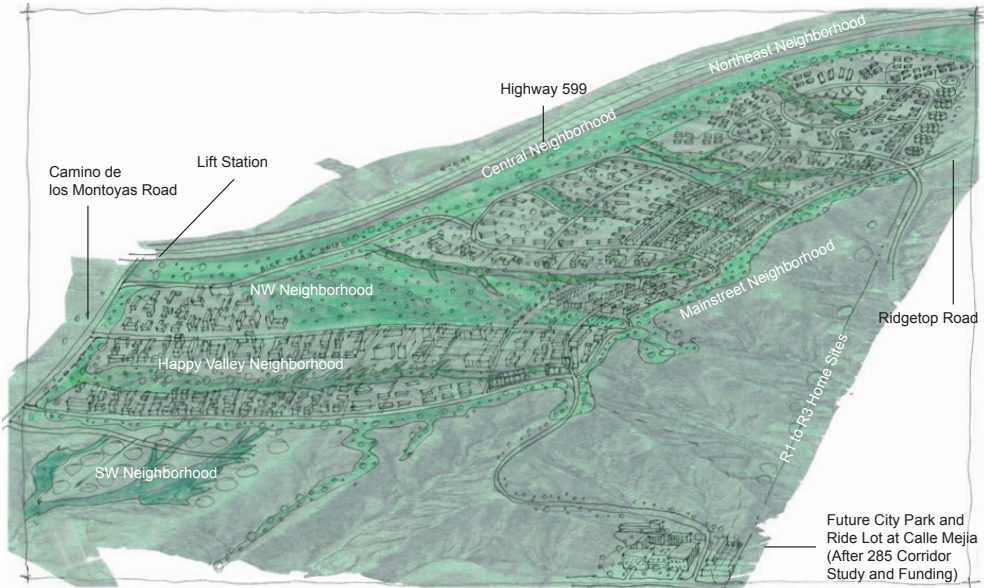


Figure 4 - 4: 3D NWQ NEIGHBORHOOD ZONES



2. Building Heights

Guidelines

Building heights in the Northwest Quadrant will be dictated primarily by maximum heights per City zoning code (see Table 4-2). Figure 4-5 illustrates recommended maximum building heights. This height overlay map will allow the Northwest Quadrant neighborhood developments to resemble more traditional hillside towns and provide views of neighborhoods that are sensitively nestled into the terrain.

All landmark structures over the allowable zoning height will need to obtain the required variances and approvals as per code.

Figure 4 - 5: RECOMMENDED MAXIMUM HEIGHTS

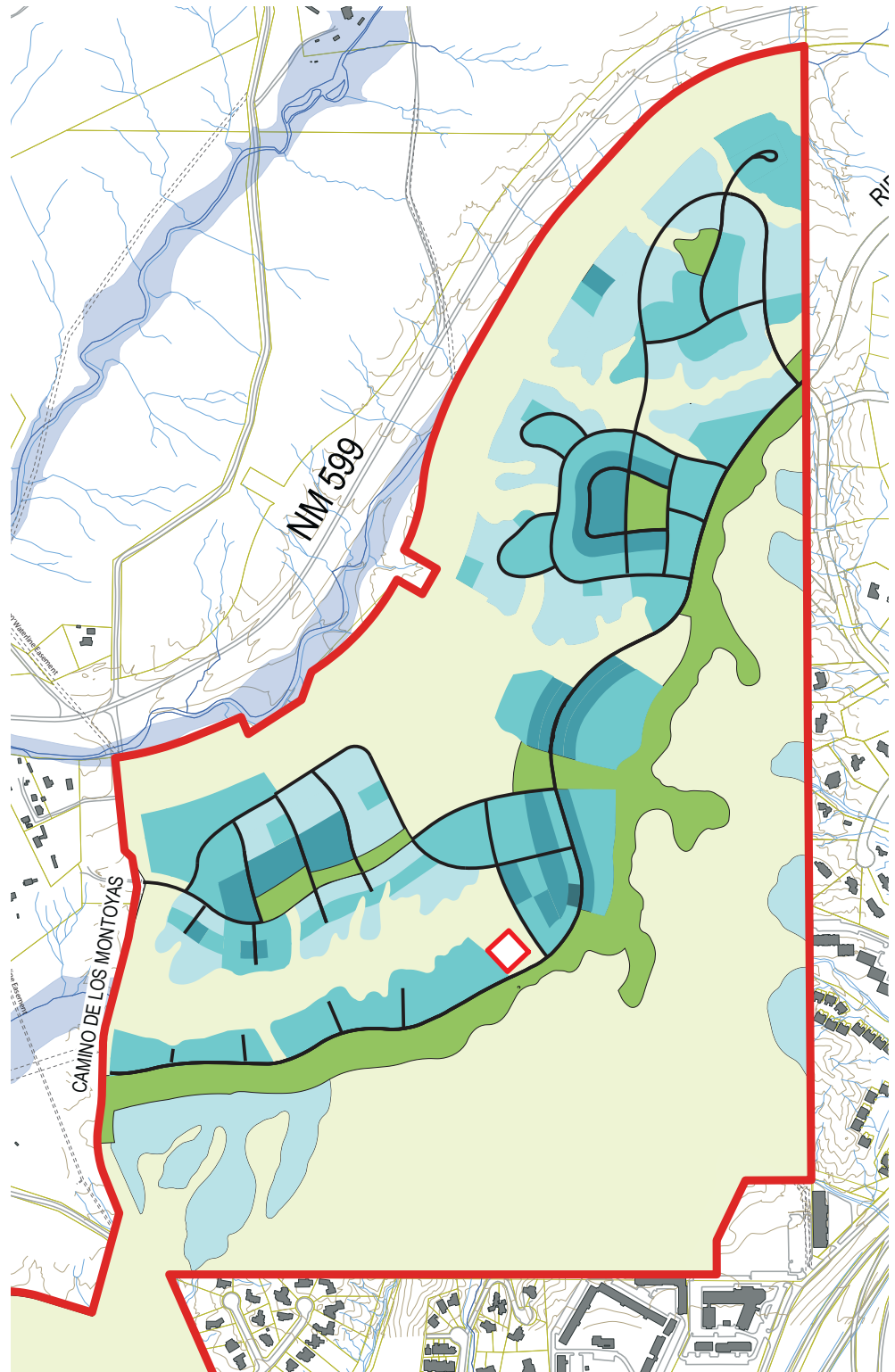


Image 4-3: Hilltown Massing Sketch



Image 4-4: Pitched and Flat Roof Hilltown



LEGEND

- Four Stories - 45 ft. max.
- Three Stories - 36 ft. max.
- Two Stories - 24 ft. max.
- One Story - 16 ft. max.
- Open Space
- Parks



3. Building Style

Intent

The Northwest Quadrant neighborhoods are designed to remember their past and history, while looking forward to the future. As people walk through the community 100 years from now and learn of the people who lived today, they will be aware of the respect and whimsy of the community, with highly productive community dry-land gardens adjacent to computer cafes and public art projects, next to children’s tree-houses.

The Northwest Quadrant will not take a prescriptive approach to achieving harmony, but an objective approach wherein environmental and aesthetic goals are presented for the creative interpretation of the designer and the NWQ Design Review Committee. Throughout the Design Standards, care has been taken to avoid requiring certain details of style for the specific periods of architectural history.

Standards

Northwest Quadrant building styles will maintain and require a regional approach that recognizes only two primary historical references: Pueblo flat roof and Rural pitched roof. These two styles are to be expressed in the widest possible range of traditional and contemporary architecture, with reference to traditional regional architecture. Flat and pitched variations in the roof are required within the neighborhood but not within individual buildings.

Traditional buildings in both styles will have few windows to maintain wall dominance. Contemporary buildings will also be required to have few windows (while using contemporary materials and colors, and large panes of glass grouped together) and to express wall dominance. Roof pitches will be required to meet standards to encourage future integrated solar thermal collectors and photovoltaics. These standards are defined in Chapter 5.

Image 4-5: More Traditional - Rural Pitched Roof



Image 4-6: Contemporary Rural Pitched Roof

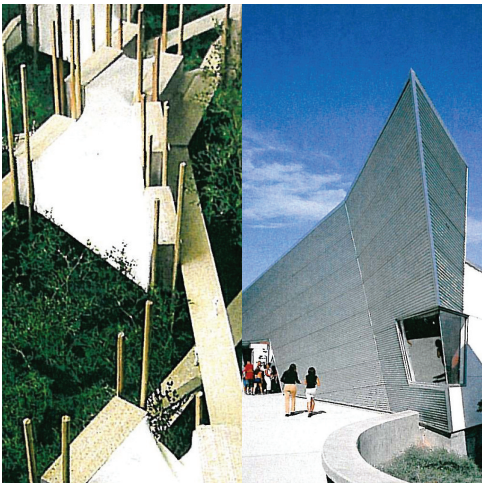


Figure 4-7: Traditional Pueblo Flat Roof

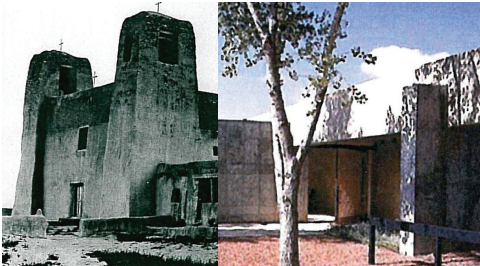


Figure 4-8: Contemporary Pueblo Flat Roof



Figure 4-9: Contemporary Pueblo Flat Roof



Table 4 - 1 : BUILDING FORMS BY NEIGHBORHOOD MATRIX

| | Main Street | Happy Valley | SW Neighborhood | NW Neighborhood | NE Neighborhood | Central Neighborhood |
|---|-------------|--------------|-----------------|-----------------|-----------------|----------------------|
| Pitched + Flat Roof: Traditional + Contemporary | * | * | * | * | * | * |
| Custom/Prefab/Panel Buildings | * | * | * | * | * | * |
| On site parking allow front or back drive | * | * | * | | | |
| Pitched Roof Colors in greens + greys - | | | | * | * | * |
| Flat Roof Decks + Balconies: Earth Colors | * | * | * | * | * | * |
| Earthen Roofs | * | * | * | * | * | * |
| Contemporary Color Zone | * | * | | | | * |
| Mixed Color Zones (four types) | | gold | | orange | red | green |
| Traditional Color Zone | | | * | * | * | * |
| Yard Wall Zones (four types) | stucco | stucco | stone | stucco | wood | metal |
| Tree Zones (six types) | * | * | * | * | * | * |

4. Building Color

Intent

Color will play an important role to relate to traditional Santa Fe neighborhoods, define new neighborhoods in the Northwest Quadrant, and highlight the creative community envisioned for the Northwest Quadrant.

Standards

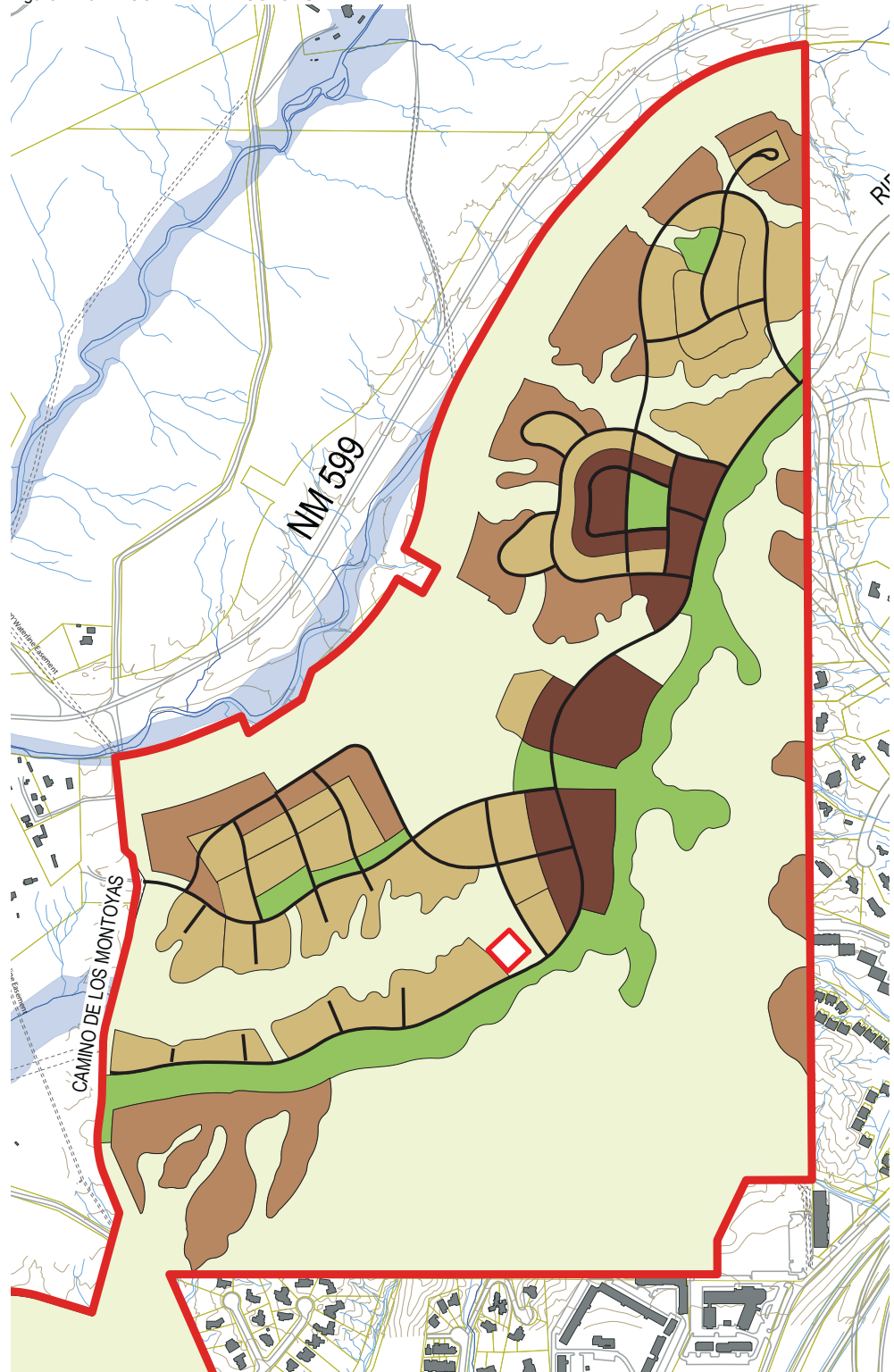
Building colors in the Northwest Quadrant will be dictated by allowable colors per neighborhood district and neighborhood density, as shown in *Figure 4-6: Recommended Colors*. Within the zones, colors could be used on either traditional or contemporary building styles. Examples of these colors are shown in *Figure 4-8: Suggested Color Schemes*.

Table 4-1: Building Forms by Neighborhood Matrix shows how more traditional building colors should be used in lower density areas, whereas in the mixed-use districts, there will be a greater variety of colors.

Colors of metal roofs will be based on New Mexican tree colors. Colors of decks, balconies and walls will be based on muted soil colors in the residential areas (golds, rust oranges, browns, and greens). Colors of decks, balconies and walls will become more intense and deeper New Mexican earth tones as they reach the mixed use center zones.

Final colors will be approved by the Northwest Quadrant Design Review Committee.

Figure 4 - 6: RECOMMENDED COLORS



LEGEND

- Contemporary Color Zone
- Mixed Color Zone
- Traditional Color Zone
- Open Space
- Parks



Within the zones, colors could be used on either traditional or contemporary building styles.

CHAPTER 4: NEIGHBORHOOD FORM

Image 4-10: Colored Vertical Masses

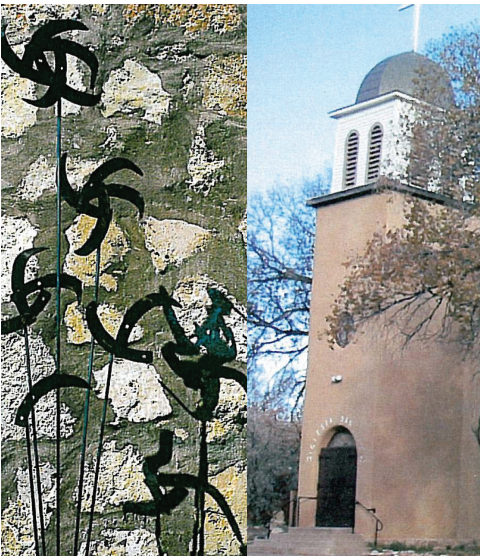


Image 4-11: Colored Vertical and Horizontal Masses



Image 4-12: Colored Wainscoat

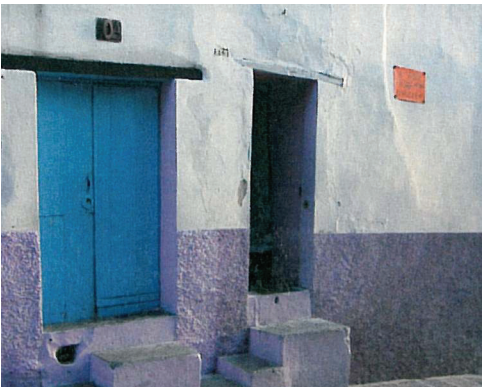


Image 4-13: Colored Trim

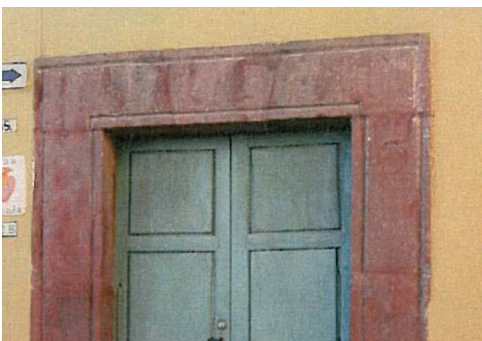


Image 4-14: Solid Color Interior Through Glass



Image 4-15: Solid Color Stucco

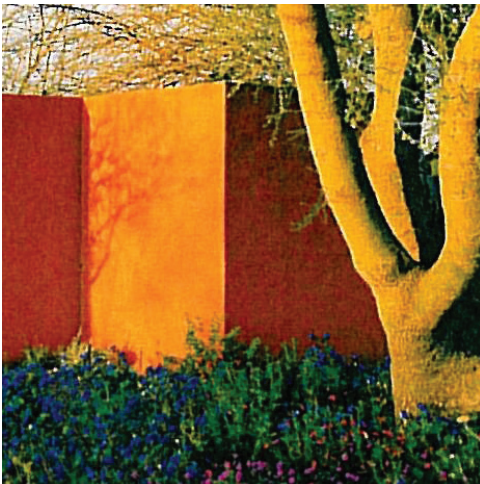


Figure 4-8: SUGGESTED COLOR SCHEMES

Stucco Colors at Mixed Color Zone - Orange - for “Northwest” Neighborhood - 20% of Each Color Within Zone



Stucco Colors at Mixed Color Zone - Green - for “Central” Neighborhood - 20% of Each Color Within Zone



Stucco Colors at Mixed Color Zone - Red - for “Northeast” Neighborhood - 20% of Each Color Within Zone


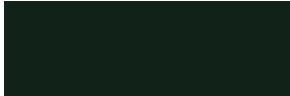












Stucco Colors at Mixed Color Zone - Gold - for “Happy Valley” Neighborhood - 20% of Each Color Within Zone













Figure 4 - 8: SUGGESTED COLOR SCHEMES (continued)











Pitched Roof Colors for all Color Zones - (“Metal Sales” #s or equal)

| | | | | |
|--|---|---|--|---|
|  |  |  |  |  |
| Burnished Slate (49) | Classic Green (66) | River Teal (59) | Hemlock Green (M7) | Indy Green (435B424) |
|  |  |  |  |  |
| Patina Green (58) | Felt Green (W66) | Quaker Grey (432B171) | Antique Patina (439Z644) | Jade Green (W59) |
|  |  | | | |
| Old Zinc Grey (W29) | Mistique Plus (W31) | | | |













Stucco Colors - Traditional Color Zone - (“El Rey” #s or equal)

| | | | | |
|--|---|---|--|---|
|  |  |  |  |  |
| 01016 Mesa Del Sol 49 | 2207 Mesilla 42 | 3003 Amarilla 42 | 01004 Adobe Brown 25 | 3030 Acoma 50 |
|  |  |  |  |  |
| 127 HACIENDA | 106 BUCKSKIN | 122 STRAW | 116 ADOBE | 115 COTTONWOOD |

Stucco Colors - Contemporary Color Zone - (“STO” #s or equal)

| | | | | |
|--|---|---|--|---|
|  |  |  |  |  |
| 31300 43 C3 | 32200 32 C3 | 32440 15 C3 | 36441 18 C3 | 32140 29 C3 |
|  |  |  |  |  |
| 31140 30 C3 | Curry Spice 48B-3D | 31421 43 C2 | 34101 18 C3 | 33401 16 C3 |

Colors - Trim and Accent Colors - (Sherwin Williams” #s or equal)

| | | | | |
|--|---|---|--|---|
|  |  |  |  |  |
| Bracken BGY SW2734 | Amethyst BGY SW2703 | Shadowy BGY SW2741 | Provence Sun B SW2919 | Conestone N SW2925 |
|  |  |  |  |  |
| Spring Meadow B SW2931 | Blue Grotto N SW2941 | Blue Bayou A SW2412 | Sea Moss TWT SW2366 | San Antonio Sage YC SW2215 |
|  |  | | | |
| Yellow Corn SW2348 | Summer White TWT SW2448 | | | |

See “Color Standards and Details” in Architecture Chapter

CHAPTER 4: NEIGHBORHOOD FORM

B. Complete + Connected Neighborhoods

Overview Green Development:

The Northwest Quadrant neighborhoods must be consciously and deliberately designed so that the Northwest Quadrant community can become sustainable, integrate with the City of Santa Fe, and offer residents a high quality lifestyle.

The Master Developer should consider designing the neighborhoods as a complete system that can share and reuse resources within and beyond the immediate community. The design process for future planning should incorporate a high degree of transparency for both the internal and extended community.

This section highlights key requirements within the ‘2005 LEED for Neighborhood Developments Rating System’. By following these guidelines, the Master Developer can achieve the Master Plan’s goals to create a sustainable, mixed-use development.

In addition to LEED-ND, the Master Developer will also follow Enterprise Community Partner’s Criteria for Green Development, New Mexico Mortgage Finance Authority’s Green Criteria, the City of Santa Fe’s Green Code and AIA’s 2030 Program. See matrix in Appendix.

1. Neighborhood Design

Intent

Social Justice

- Promote developments that are good neighbors to their surrounding communities. Foster a sense of community and connectedness beyond the development.
- Enable citizens from a wide range of economic levels and age groups to live within the community.

Land Conservation

- Conserve existing natural areas and protect trees to provide habitat and promote biodiversity.
- Preserve existing tree canopy, native vegetation and pervious surfaces while encouraging high density, smart growth communities.
- Minimize erosion to protect habitat and reduce stress on natural water systems by preserving steep slopes in a natural, vegetated state.
- Protect and restore habitat corridors, with native vegetation along arroyos and along NM 599.
- Remove non-native species that are invasive to the local ecosystem
- Minimize overall land disturbance, as well as limiting soil loss/erosion control.
- Minimize pesticide use and toxic materials on all properties and open space.
- Enhance soil quality.

Water Conservation

- Reduce surface water pollution from stormwater.
- Conserve potable water.

Standards

Social Justice

- Ensure that all streets, sidewalks, and public spaces that are built as part of the project or serving the project directly are available for general public use.
- Create neighborhood permeability (i.e., paths, trails, alleys) and provide neighborhoods with recreational opportunities.
- Developers are required to submit an affordable housing plan that shows the distribution of affordable housing within the development.
- Minimize view shed impacts from within the site, and onto the site from downtown.
- Provide mixed economic opportunities distributed evenly for all segments of the community.

Land Conservation

- Conserve land – promote livability, transportation efficiency, and walkability.

Water Conservation

- Implement a stormwater management plan that captures and treats the stormwater runoff from 90% of the average annual rainfall.
- Conserve water and aquifer regeneration for on-site infiltration.
- Improve site hydrology through minimizing storm water run-off and pollution into natural drainage corridors.
- For common areas, design and construct graywater and/or stormwater systems to capture and reuse at least 50% of graywater and/or stormwater.

2. Block + Lot Design

Intent

- Provide direct and safe connections.
- Promote connectivity.
- Promote energy savings, respond to regional climate, and reinforce local distinctiveness.
- Optimize solar orientations of buildings for passive solar and active solar collection.

Standards

- Limit average block perimeter within the project.
- The most efficient and effective means of reducing the NWQ's demand for electricity and natural gas will be to provide in all possible locations, solar site planning for passive and active solar energy collection and natural day lighting.
- Building placement must provide as much solar access as possible within the restraints of density, setback limits, lot position on the hillside, and other site planning criteria.
- Developers must provide a solar diagram for review demonstrating their attempt to maximize solar access for all buildings. The NWQ-DRC is responsible for determining proper solar access.
- See Chapter 5: Architecture for required model building variations.

Figure 4 - 7: SETBACK DIAGRAMS

Collector Mixed-Use

(Similar to East Marcy St. in scale)



3. Street Design

Streets form the initial framework for neighborhoods and communities. Well-defined street types will dictate the form of buildings and yard walls that face the street, which will help to create distinct neighborhoods and a pedestrian friendly environment.

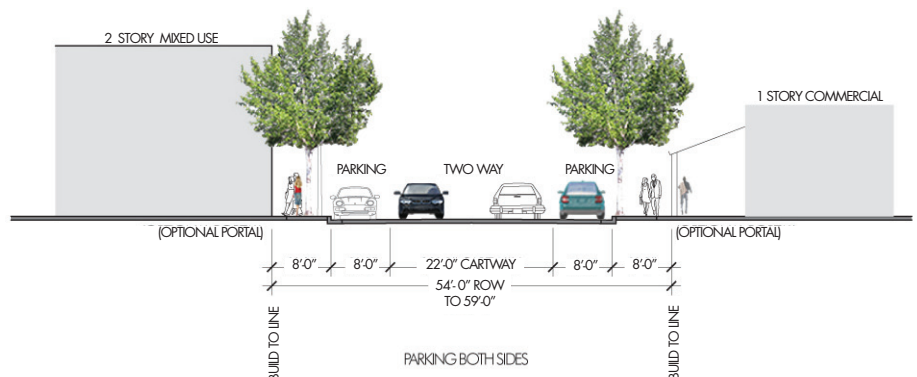
Intent

As they are within the public realm, the streets will serve as linear public spaces, where pedestrians, bicyclists, transit riders, and automobile drivers alike will interact in a safe and pleasing environment.

- Provide appealing and comfortable pedestrian street environments.
- Encourage pedestrian-oriented streets.

Standards

- All landscape, walkways, walls, and streetscape improvements installed along streets or drainageways shall be designed and constructed in accordance with the streetscape design standards.
- Build To Lines are required to be either yard walls, portales, or buildings. See *Figure 4-7: Setback Diagrams* for street types and their various requirements.
- Parking and garage location standards will vary based on the land use type. For specific standards, see Section C, Community Form.
- Primary building entrances are required to face the street.
- Ensure that the network provides adequate and appropriate connectivity to existing and future schools.

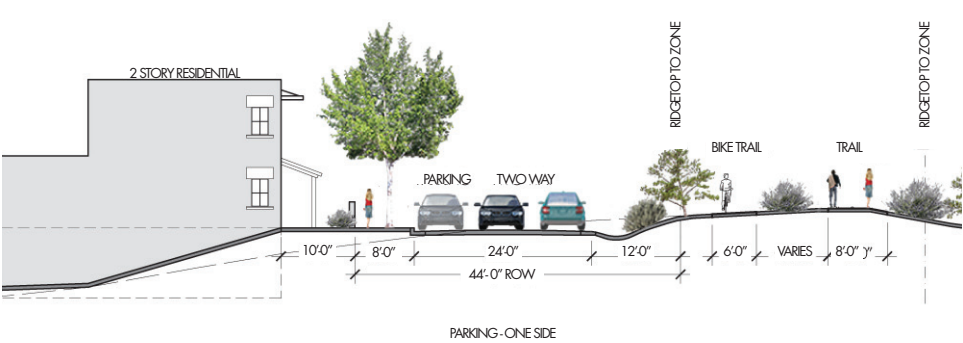


CHAPTER 4: NEIGHBORHOOD FORM

Figure 4 - 7: SETBACK DIAGRAMS continued

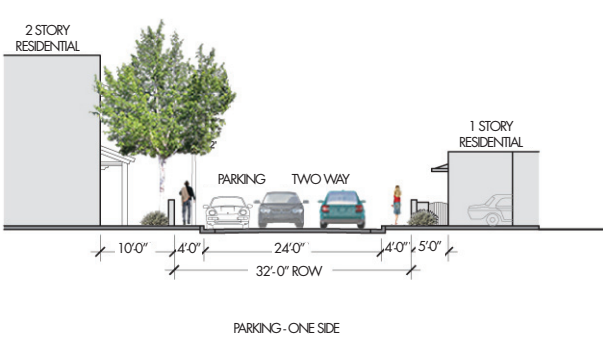
Subcollector - parking one side

(Similar to Montezuma in scale)



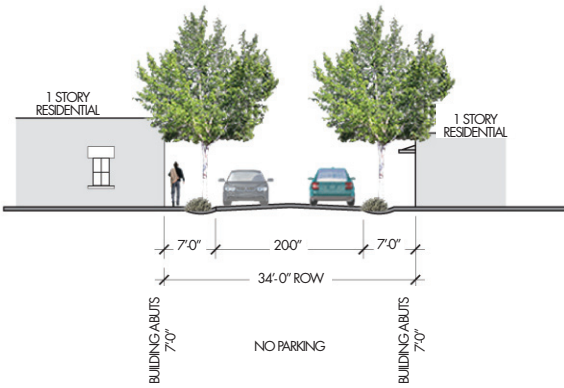
Subcollector Residential

(Similar to Acequia Madre in scale)



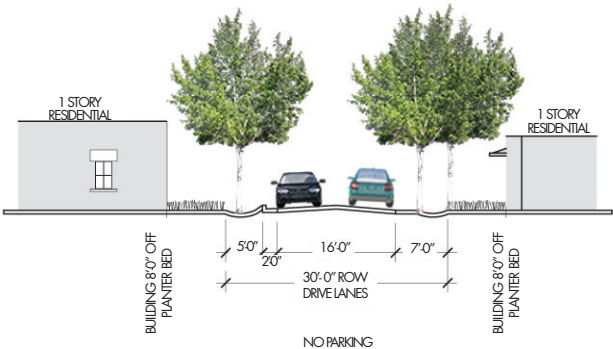
Urban Lane

(Similar to East De Vargas in scale)



Rural Lane

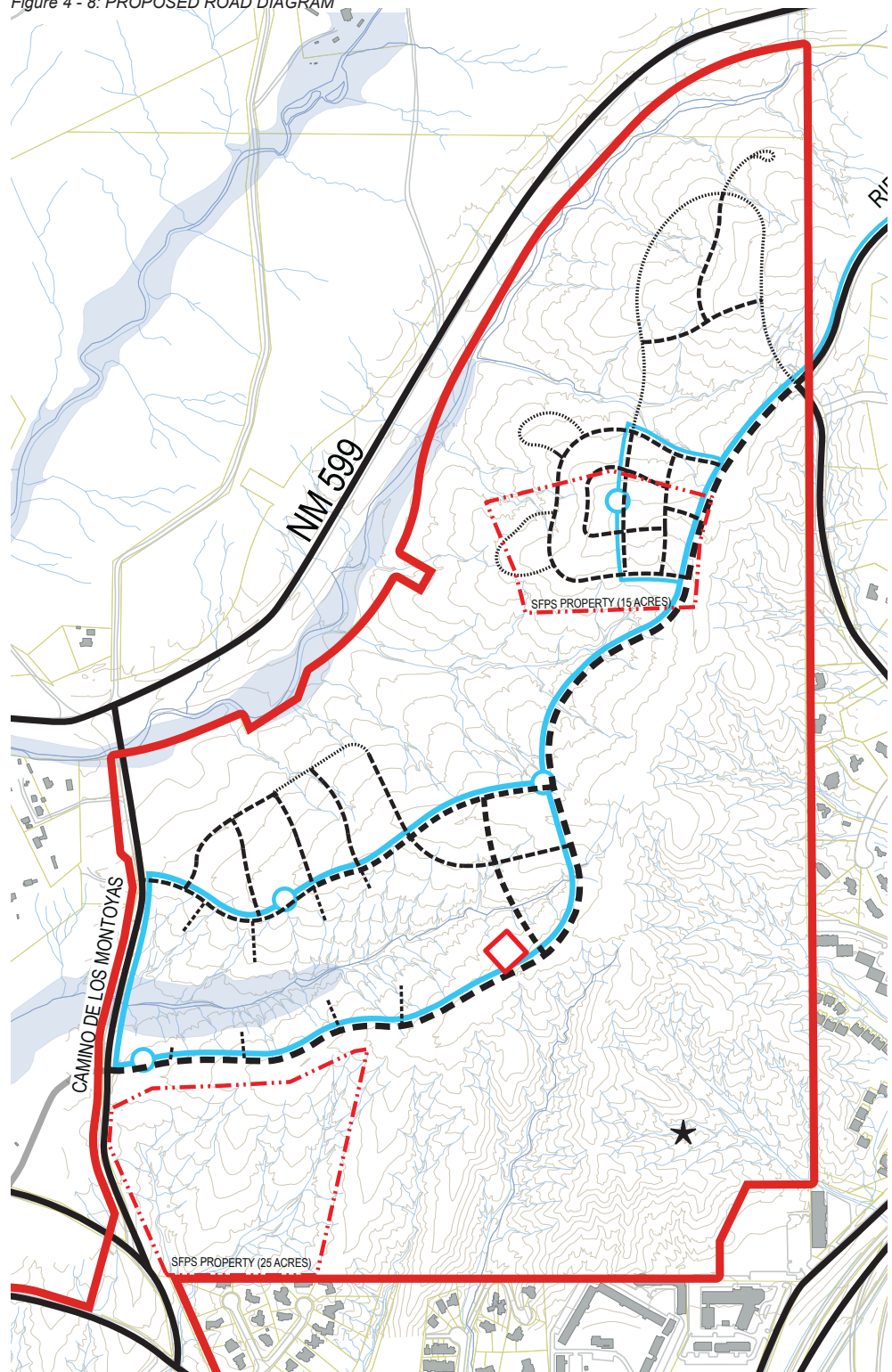
(Similar to Acequia Madre in scale)



Guidelines

- Roadways should wind and follow natural terrain.
- Provide a network of many smaller roads while avoiding long straight roads, short cuts and dead-ends; use design techniques like T-intersections to promote safety and slow automobile speeds.
- Arroyos will be left free and unimpeded in their natural state as much as possible.
- Use road crossings as checkdams for arroyo crossings. Elevate the culvert on the high side to create ponding areas for stormwater infiltration.
- Natural terrain features including slopes, ridges, knolls and rock formations should be carefully considered and integrated where possible.
- Use pervious materials to surface at least 50% of public and private driveways, parking lots, patios, sidewalks, trails, and pathways for storm water infiltration.
- No porous pavements on grades over five percent (5%).
- Build common and public infrastructure using a minimum of 20% of materials that are manufactured, extracted, harvested, or recovered within a radius of 500 miles of the project site.

Figure 4 - 8: PROPOSED ROAD DIAGRAM



LEGEND

| | |
|--|--------------------------|
| | Existing Roads |
| | Collector Mixed Use |
| | Subcollector |
| | Subcollector Residential |
| | Urban Lane |
| | Rural Lane |

| | |
|--|--|
| | Existing Bus Routes |
| | Existing Bus Stops |
| | Proposed Bus Routes |
| | Proposed Bus Stops |
| | Refer to Figure 3-6 for 'Future Potential Connection to Calle Mejia' |



CHAPTER 4: NEIGHBORHOOD FORM

C. Community Form

Overview

Intent

The Northwest Quadrant Design Standards uses the City of Santa Fe zoning code as a basis for the Northwest Quadrant neighborhood form requirements. The Northwest Quadrant Design Standards and neighborhood form requirements, however, include additional variations and/or restrictions on development and building mass in order to create the safe, sustainable, and quality environment desired in this plan.

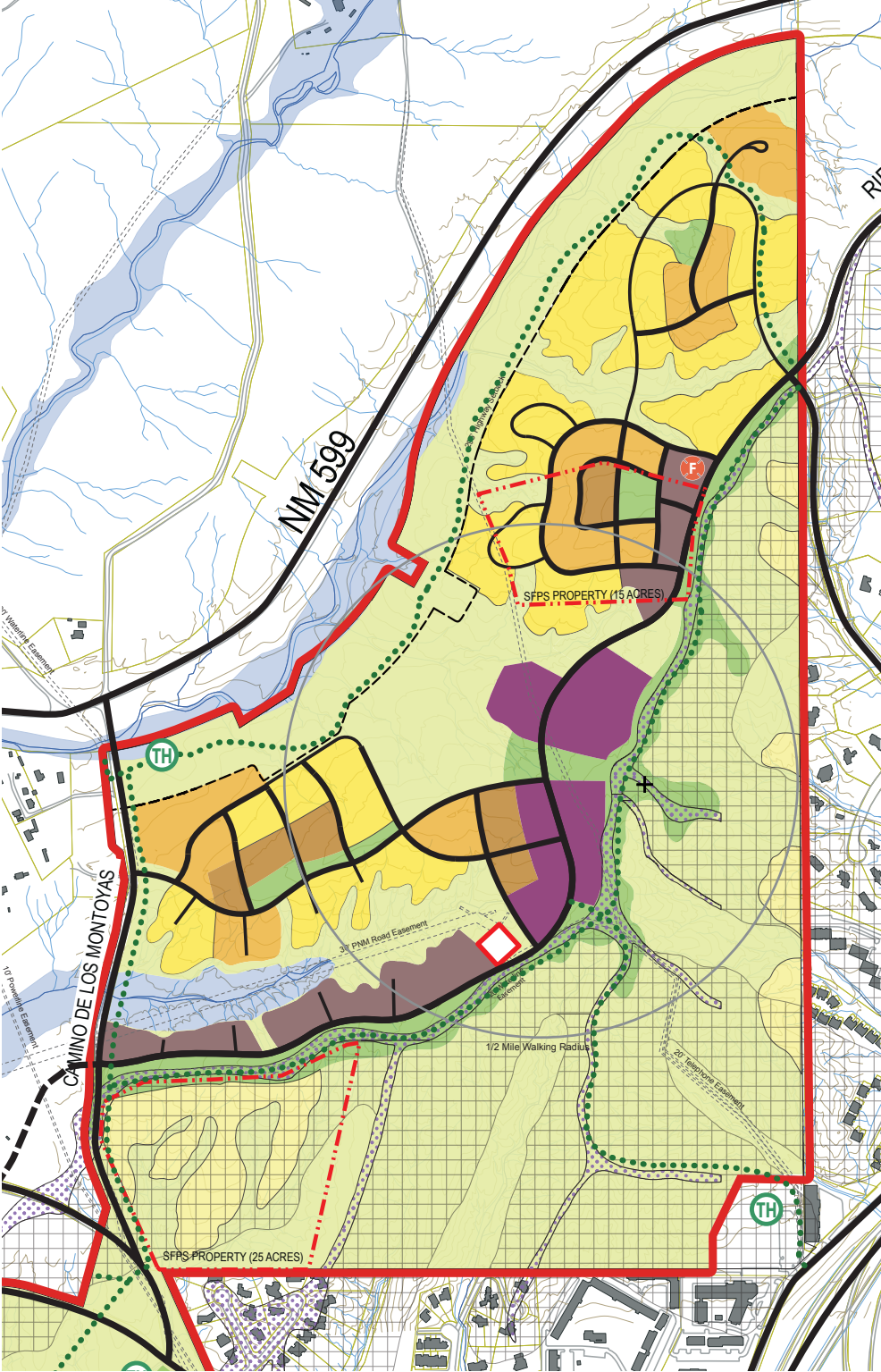
Standards

Figure 4-9 illustrates the Northwest Quadrant Master Plan with the land uses under PRC zoning. Table 4-2 defines the zoning allowed within each land use and establishes the dimensional standards and measurements for each area in the plan.

Differences between City standards and NWQ standards on Table 4-2: *Dimensional Standards and Measurements* are highlighted in black text. These variations and/or restrictions take precedence over City code where indicated.

Following this chapter are land use and neighborhood specific form-based code requirements.

Figure 4 - 9: PROPOSED MASTER PLAN LAND USES



Notes: Table 4-2 Dimensional Standards + Measurements

- 1 Unless an increase in number of dwelling units is agreed to in carrying out the Inclusionary Ordinance
- 2 Number of lots created and number of dwellings per lot cannot exceed maximum gross density
- 3 Outside historic districts
- 4 All non-residential uses: 15 foot landscaped buffer required if adjacent to residential.

Table 4-2: DIMENSIONAL STANDARDS + MEASUREMENTS

| | Maximum Gross Density ¹ (du per acre) | Minimum Lot Size ² | Maximum Height of Structures ³ (ft) | Minimum Setback Requirements ⁴ (ft) | Maximum Lot Coverage (%) | Minimum Distance Between Buildings ⁵ (ft) |
|----------------------------|---|--|---|--|--|---|
| Neighborhood Center | <p>MU</p> <p>A common landscaped open area with seating shall be provided with a min size of 500SF per acre of development, open to the sky, suitably lighted and designed to encourage social interaction.</p> <p>No single commercial tenant shall exceed 20,000 SF.</p> <p>Bldgs of 25 foot height or less shall not exceed a max of 12 dwelling units per acre.</p> <p>Bldgs of 35 foot height or less shall not exceed a max of 14 dwelling units per acre.</p> <p>Each unit shall have a 250SF open space.</p> | <p>No minimum lot size, except as may be needed to satisfy other limitations applicable to an MU District.</p> <p>Also see Chapter 14-7.2 (B) (8) for open space</p> | <p>35 feet (permitted where 2 or more stories are included in one building).</p> <p>Where the mixed use development is adjacent to residential zoning, all buildings and structures within 70 feet of the adjoining residential property line shall not exceed 25 feet in height.</p> <p>Also see Chapter 14-7.2 (B) (8) for step back.</p> <p>NWQ recommends increased height allowances with a 45 foot height max. (four stories) in the 'Main Street' neighborhood in one mapped location.</p> <p>NWQ recommends decreased height allowances to two stories in several mapped locations.</p> | <p>FRONT: Equal to minimum yard requirements in adjoining residential district, if not separated by a street. Otherwise no setback.</p> <p>SIDE: 30 feet from property line when abutting a residential district; 5 feet if not abutting residential. Right of way may be counted as setback.</p> <p>REAR: 30 feet from property line when abutting a residential district, 10 feet when not abutting residential. Right of way may be counted as setback.</p> <p>Also see Chapter 14-7.2 (B) (8).</p> <p>NWQ requests variance of sideyard setback abutting residential districts, to enable common wall conditions.</p> | <p>No maximum lot coverage, except as may be needed to satisfy other limitations applicable to an MU District.</p> <p>Also see Chapter 14-7.2 (B) (8) for footprint requirements and residential requirements.</p> | <p>See setbacks in MU.</p> <p>Also, see Chapter 14-7.2 (B) (8) for separation of uses</p> <p>See MU setbacks.</p> |
| | <p>SC-1</p> | <p>5 acres (minimum district and lot size).</p> <p>NWQ recommends decrease to 2.236 acres (maximum district and lot size) based on 14-4.3 (l)(7)(d)(i) calculation.</p> | <p>35 feet</p> <p>NWQ recommends decreased height allowances to two stories in several mapped locations.</p> | <p>Shall be equivalent to the minimum yard requirements in any adjoining zoning district.</p> <p>NWQ requests variance of MU sideyard setback abutting residential districts, to enable common wall conditions.</p> | <p>No max lot coverage</p> | <p>Shall be equivalent to the minimum yard requirements in any adjoining zoning district.</p> <p>See SC-1 setbacks.</p> |
| Transitional Mixed Use | <p>MU</p> <p>A common landscaped open area with seating shall be provided with a min size of 500SF per acre of development, open to the sky, suitably lighted and designed to encourage social interaction.</p> <p>No single commercial tenant shall exceed 20,000 SF.</p> <p>Bldgs of 25 foot height or less shall not exceed a max of 12 dwelling units per acre.</p> <p>Bldgs of 35 foot height or less shall not exceed a max of 14 dwelling units per acre.</p> <p>Each unit shall have a 250SF open space.</p> | <p>No minimum, except as may be needed to satisfy other limitations applicable to an MU District.</p> <p>Also see Chapter 14-7.2(B)(8) for open space</p> | <p>35 feet (permitted where 2 or more stories are included in one building).</p> <p>Where the mixed use development is adjacent to residential zoning, all buildings and structures within 70 feet of the adjoining residential property line shall not exceed 25 feet in height.</p> <p>Also see Chapter 14-7.2(B)(8) for step back.</p> <p>NWQ recommends decreased height allowances to 24 feet (two stories) in several mapped locations.</p> | <p>FRONT: Equal to minimum yard requirements in adjoining residential district, if not separated by a street. Otherwise no setback.</p> <p>SIDE: 30 feet from property line when abutting a residential district; 5 feet if not abutting residential. Right of way may be counted as setback.</p> <p>REAR: 30 feet from property line when abutting a residential district, 10 feet when not abutting residential. Right of way may be counted as setback.</p> <p>Also see Chapter 14-7.2 (B) (8).</p> <p>NWQ requests variance of sideyard setback, to enable common wall conditions.</p> | <p>No maximum lot coverage, except as may be needed to satisfy other limitations applicable to an MU District.</p> <p>Also see Chapter 14-7.2 (B) (8) for footprint requirements and residential requirements.</p> | <p>See setbacks in MU.</p> <p>Also see Chapter 14-7.2 (B) (8) for separation of uses</p> <p>See MU setbacks.</p> |
| High Density Residential | <p>RM 12-29</p> <p>12 - 29</p> | <p><u>Single Family:</u> 3000 SF minimum, 2000 SF minimum if common open space provided.</p> <p><u>Multi-Family:</u> see Chapter 14-7.1 (B)(5) (a and d) for minimum lot and open space.</p> | <p>24 feet</p> <p>NWQ recommends increased height allowances with a 36 foot height max. (three stories) in several mapped locations.</p> | <p>See Chapter 14-7.1 (B) (5) (g) for setbacks</p> | <p><u>Single-Family or Multi-Family (less than 6 units):</u> 40% lot coverage; 70% if private open space is provided.</p> | <p>None</p> |
| Medium Density Residential | <p>RM-LD 12</p> <p>See Chapter 14-7.1 (B) (5) (b) for calculation of allowable dwelling units.</p> | <p><u>Single Family:</u> 3000 SF minimum, 2000 SF minimum if common open space provided.</p> <p><u>Multi-Family:</u> see Chapter 14-7.1 (B) (5) (a and d) for minimum lot and open space.</p> | <p>24 feet</p> | <p>See Chapter 14-7.1 (B) (5) (g) for setbacks</p> | <p><u>Single-Family or Multi-Family (less than 6 units):</u> 40% lot coverage; 70% if private open space is provided.</p> | <p>None</p> |
| Low Density Residential | <p>R3-R7</p> <p>3 - 7</p> <p>Units may be clustered as long as density requirements are met. See Chapter 14-7.1 (B) (2) (a)</p> | <p>4000 SF minimum, no minimum if common open space provided. See 14-7.1 (B) (2) (b).</p> | <p>24 feet</p> | <p>Setbacks established by a development plan, and approved by the Planning Commission.</p> | <p>40% lot coverage; 55% if private open space is provided.</p> | <p>10 feet, except where a provision is made for a common building wall.</p> |
| Very Low Residential | <p>R1-R3</p> <p>1 - 3</p> | <p><u>Single Family:</u> 4000 SF minimum, 2000 SF minimum if common open space provided.</p> <p><u>NWQ recommends 3,800 SF maximum building heated area.</u></p> <p><u>Multi-Family:</u> 4000 SF.</p> <p>See Chapter 14-7.1 (B) (5) (a and d) for minimum lot and open space.</p> <p>NWQ recommends 3,800 SF maximum building heated area.</p> | <p>24 feet</p> | <p>FRONT: 7</p> <p>SIDE: 5, 10 for second stories.</p> <p>REAR: 15 (or 20% of average depth of lot; no less than 5 feet single stories and 10 feet second stories).</p> <p>NWQ recommends defined building envelopes to minimize disturbance to open space area.</p> | <p>40% lot coverage; 50% if private open space is provided.</p> | <p>10 feet, except where a provision is made for a common building wall.</p> |

CHAPTER 4: NEIGHBORHOOD FORM

1. Neighborhood Center

Figure 4 - 10: DOWNTOWN SANTA FE WITH PLAZA AT 12 TO 29 DUA



Figure 4 - 11: NWQ NEIGHBORHOOD CENTER CONCEPT WITH PLAZA AT 12 TO 29 DUA

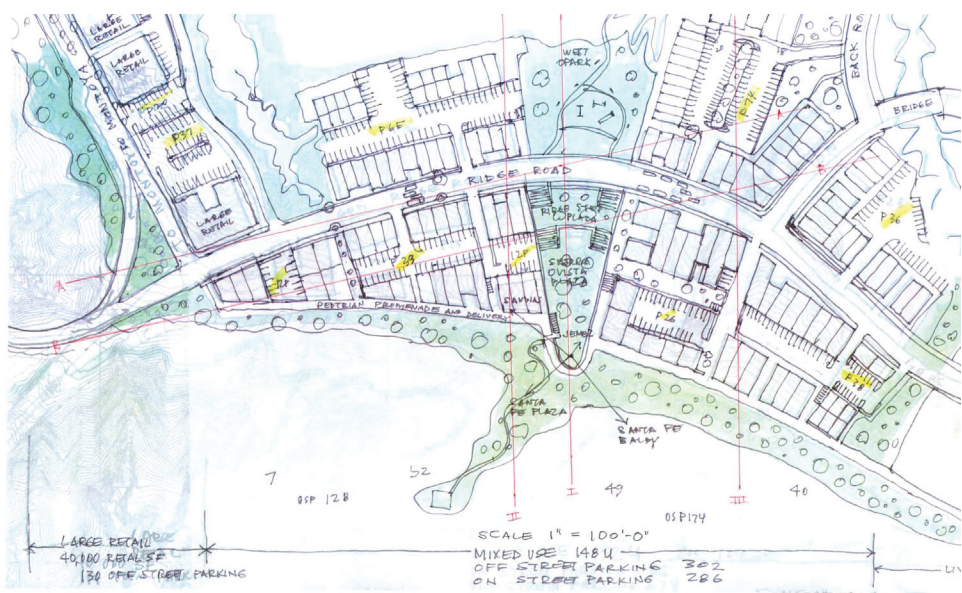
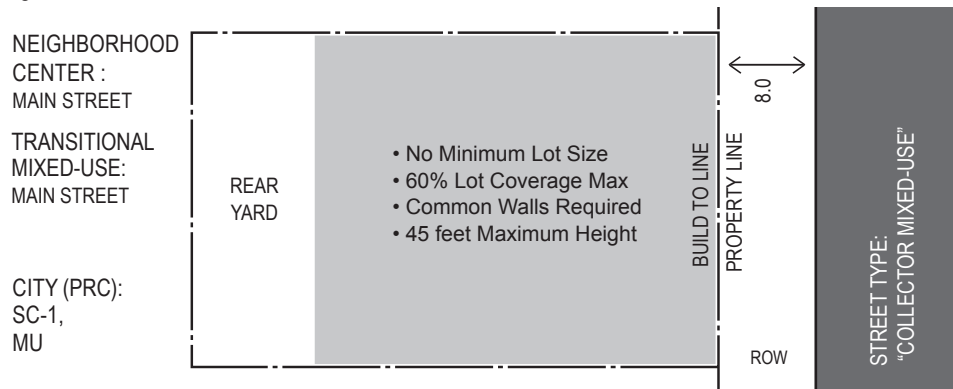


Figure 4 - 12: NEIGHBORHOOD CENTER - LOT PLAN DIAGRAM



Main Street - Neighborhood Center

Intent

The Main Street section of the Northwest Quadrant will consist of higher density, mixed-use building types that will accommodate commercial development, retail, offices, townhouses, and apartments. It will provide for buildings set close to the frontages, with wide sidewalks and steady street tree planting. The zoning for this area will provide flexibility in use intensity, so that the Main Street area can evolve over time, depending on the current needs of the neighborhood and surrounding community.

Standards

- The Neighborhood Center will be zoned SC-1 and MU, with the ability to have residential units, commercial square footage, and mixed use.
- The Neighborhood Center area will be the only area that provides active uses after dark, following the City's noise ordinance.
- Primary parking is required to be off street with guest parking on and off streets.
- Build-to lines are dictated for three property lines fronting streets.
- For requirements on form within the Neighborhood Center areas, see Figure 4-12.
- For requirements on allowed uses, see Table 3-1: Permitted Uses.
- Exceptions to terrain management standards are allowed within the Neighborhood Center area.

Image 4-16: Contemporary Colorful Mainstreet



Image 4-21: Contemporary 3 to 4 Story



Image 4-17: Historic Center Zone



Image 4-20: Story Structures



Image 4-22: Art Accents on Building Tops



Image 4-18: Public Amphitheatre



Image 4-23: Historic San Francisco Street



Image 4-19: Street Furniture



Image 4-24: Historic Plaza



CHAPTER 4: NEIGHBORHOOD FORM

2. Transitional Mixed Use

Figure 4 - 13: SANTA FE'S EAST SIDE WITH 12 TO 29 DUA



Figure 4 - 14: NORTHWEST QUADRANT'S HAPPY VALLEY DENSITY DIAGRAMS

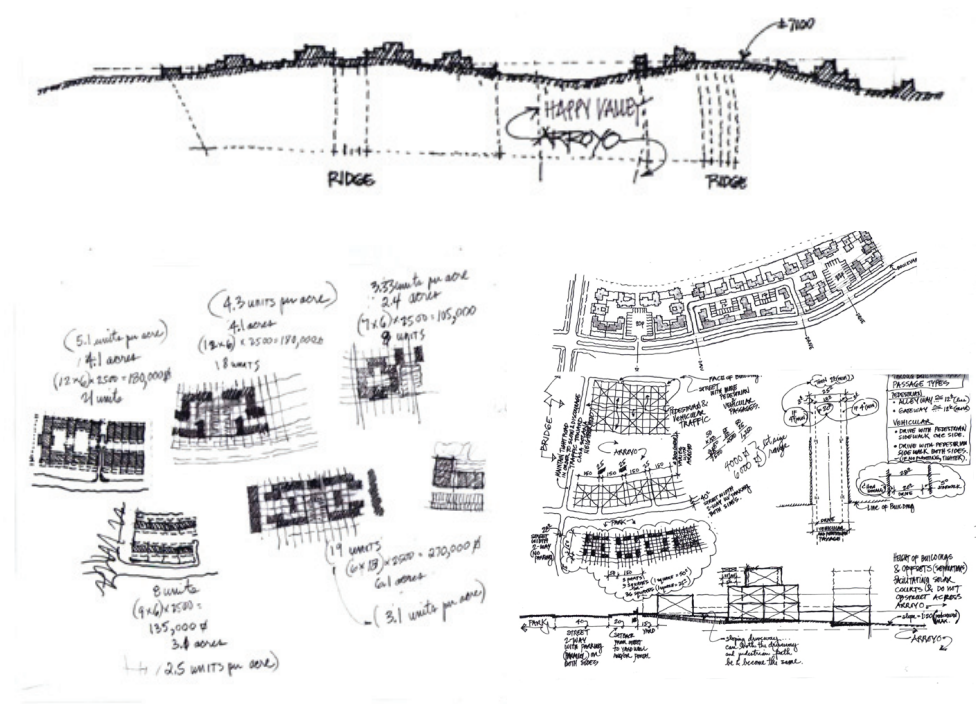
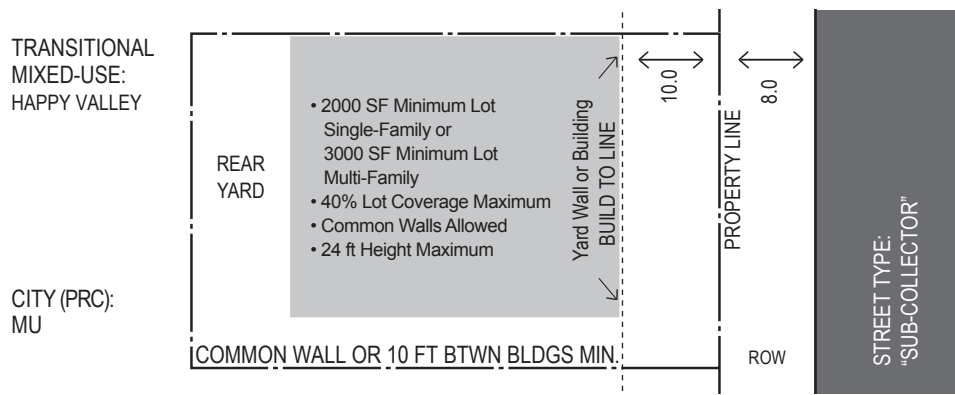


Figure 4 - 15: TRANSITIONAL MIXED USE - LOT PLAN DIAGRAM



Main Street - Transitional Mixed Use

For areas of Main Street in 'Transitional Mixed Use', refer to Intent, Standards, and Lot Plan diagram in the 'Main Street - Neighborhood Center' section.

Happy Valley - Transitional Mixed Use

Intent

This mixed use, arts-and-crafts community, with variable building types and uses, will thrive around its diversity. Like the Main Street area, Happy Valley will be able to evolve, grow, and change over time, much like small towns have throughout New Mexico for generations. Development can begin as a residential use and then may move towards live/work dwellings and studio spaces as markets and interests evolve, or can begin as public, institutional, civic or commercial.

Standards

- Home Occupations (as defined in City Code, Section 3 of the Santa Fe City Code) will be permitted.
- The Transitional Mixed Use areas restrict commercial or retail uses to the hours of 7 a.m. to 7 p.m.
- Build-to lines are dictated for property lines fronting streets.
- For requirements on form within the Transitional Mixed Use areas, see Figure 4-15.
- For requirements on allowed uses, see Table 3-2: Permitted Uses.

Guidelines

Encouraged building types if residential (multi-family or single-family; attached or detached):

- Courtyard or Cottage Court products
- Zero lot line villas, patio or "Z lot" homes
- Stacked flats
- Apartments— mansion and courtyard
- Assisted living products
- Loft/live work style products
- Co-housing developments

Image 4-25: Hilltown Massing



Image 4-28: Buildings Hug Streets



Image 4-32: Hilltown Massing



Image 4-29: Rural Lane



Image 4-26: Passive Solar Design



Image 4-30: Hilltop Massing



Image 4-33: Pueblo Massing



Image 4-27: Santa Fe Three-story



Image 4-31: Santa Fe Eastside



Image 4-34: Zocalo Neighborhood



CHAPTER 4: NEIGHBORHOOD FORM

3. Residential: High Density, Medium Density, + Low Density

Figure 4 - 16: NWQ RESIDENTIAL NEIGHBORHOOD DEVELOPMENT SKETCHES

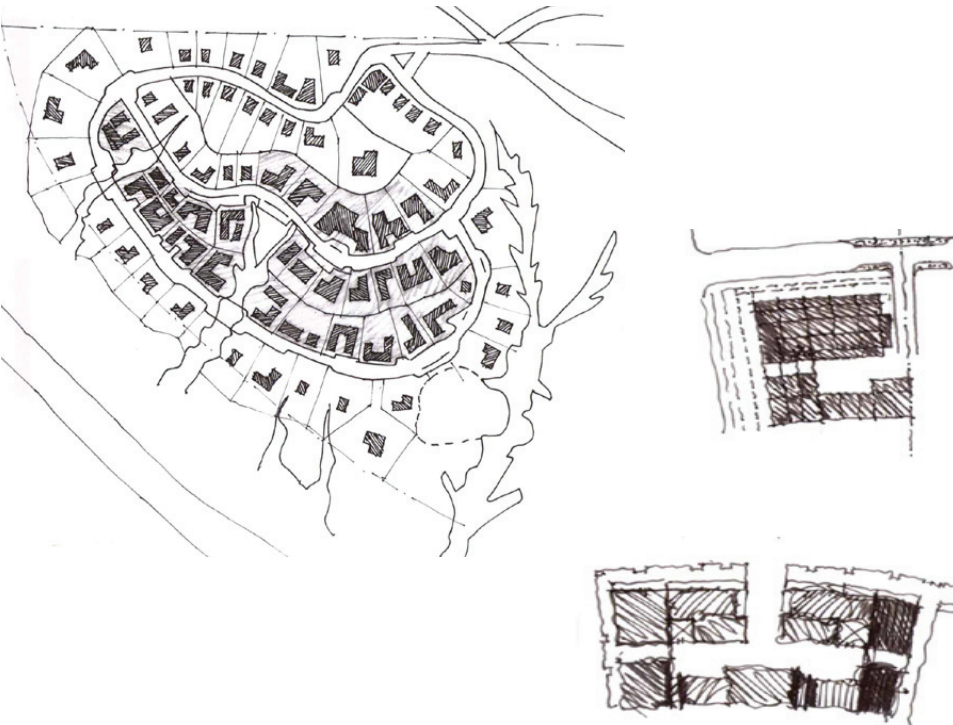


Figure 4 - 17: RESIDENTIAL - LOT PLAN DIAGRAM - STREET TYPE: SUB-COLLECTOR RESIDENTIAL

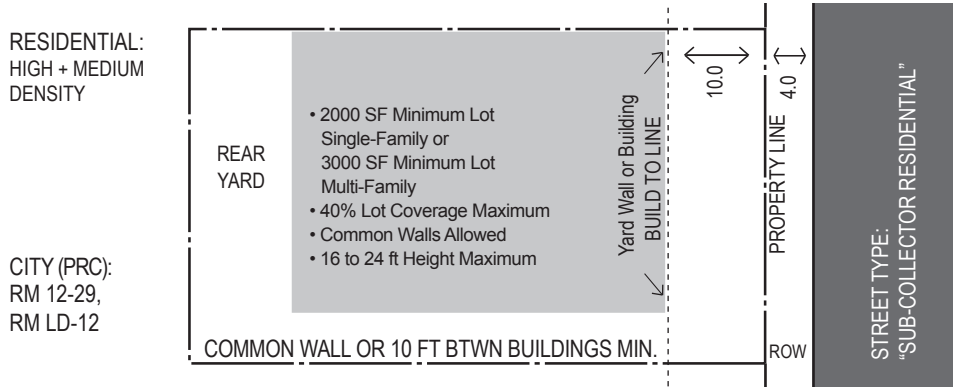
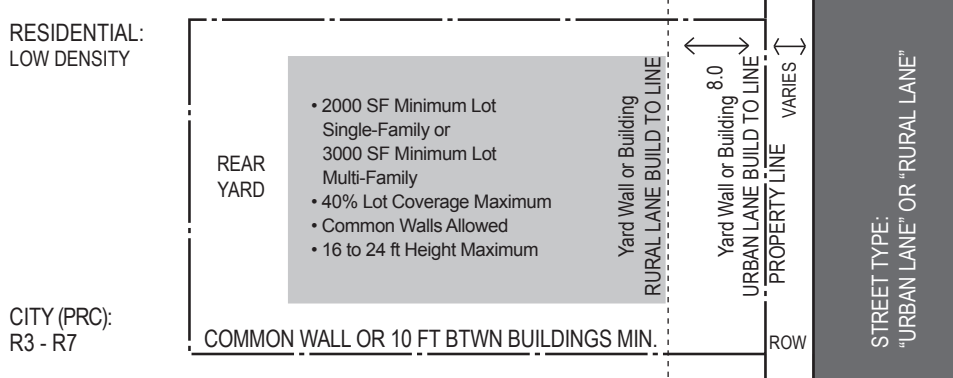


Figure 4 - 18: RESIDENTIAL - LOT PLAN DIAGRAM - STREET TYPE: URBAN LANE OR RURAL LANE



Residential High Density (12-29 dua) Residential Medium Density (7-12 dua) Residential Low Density (7-12 dua)

Intent

The residential neighborhoods of the Northwest Quadrant will be solely residential and allow for a range of building types. The higher density neighborhoods will retain their street edge with required build to lines, sidewalks, and constant landscaping.

Standards

- Parking, garages, carports required to be off street, with guest parking on street.
- This zone has a build-to line along streets for walls or buildings, similar to the historic Canyon Road and Acequia Madre neighborhoods in Santa Fe.
- For requirements on form within the Residential areas, see Figure 4-17 and Figure 4-18.
- For requirements on allowed uses, see Table 3-2: Permitted Uses.

Guidelines

These zones have a build-to line along streets for either yard walls or buildings, similar to the historic Canyon Road and Acequia Madre neighborhoods in Santa Fe.

Encouraged building types (multi-family or single-family; attached or detached):

- Single family detached homes
- Single family attached homes
- Courtyard or cottage court products
- Zero lot line villas, patio or “Z lot” homes
- Stacked flats
- Apartments– mansion and courtyard
- Assisted living products
- Loft/live work style products
- Co-housing developments
- Multi-family developments.

Image 4-35: Aldea



Image 4-39: Albuquerque Eastside



Image 4-42: Santa Fe Eastside



Image 4-36: Aldea



Image 4-40: San Francisco Street



Image 4-43: San Francisco Street



Image 4-37: Hilltown Massing

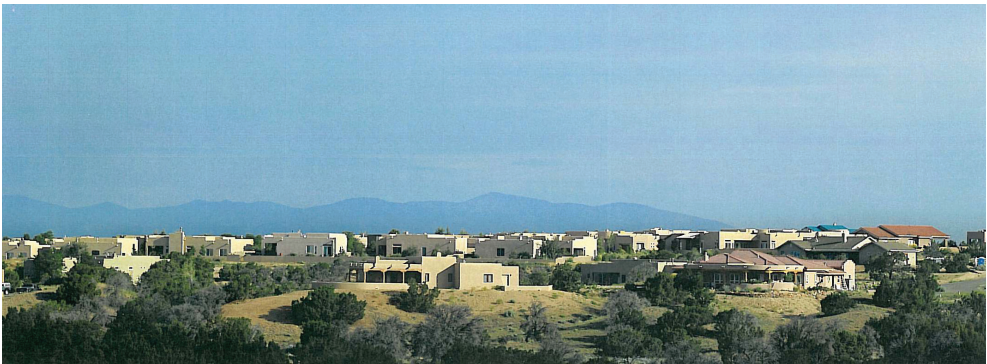


Image 4-44: Common Wall Buildings

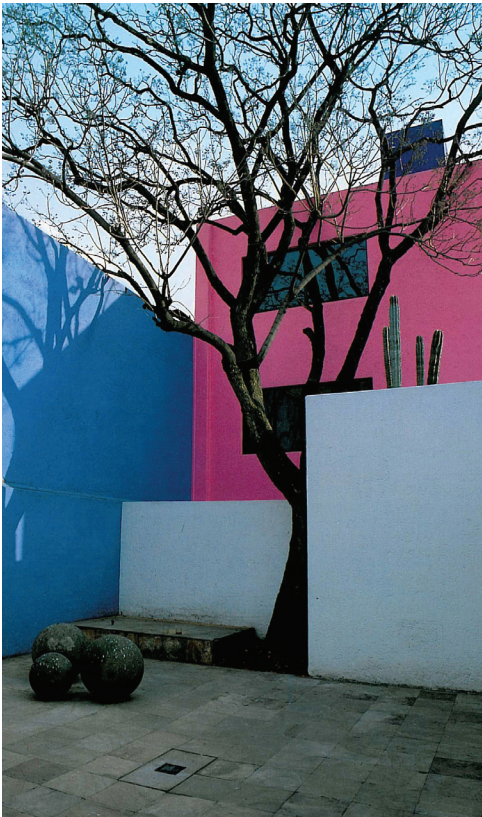


Image 4-38: Balconies



Image 4-41: Contemporary Home with Yard Wall



CHAPTER 4: NEIGHBORHOOD FORM

4. Residential - Very Low Density

Figure 4 - 19: NWQ VERY LOW DENSITY DEVELOPMENT SKETCH



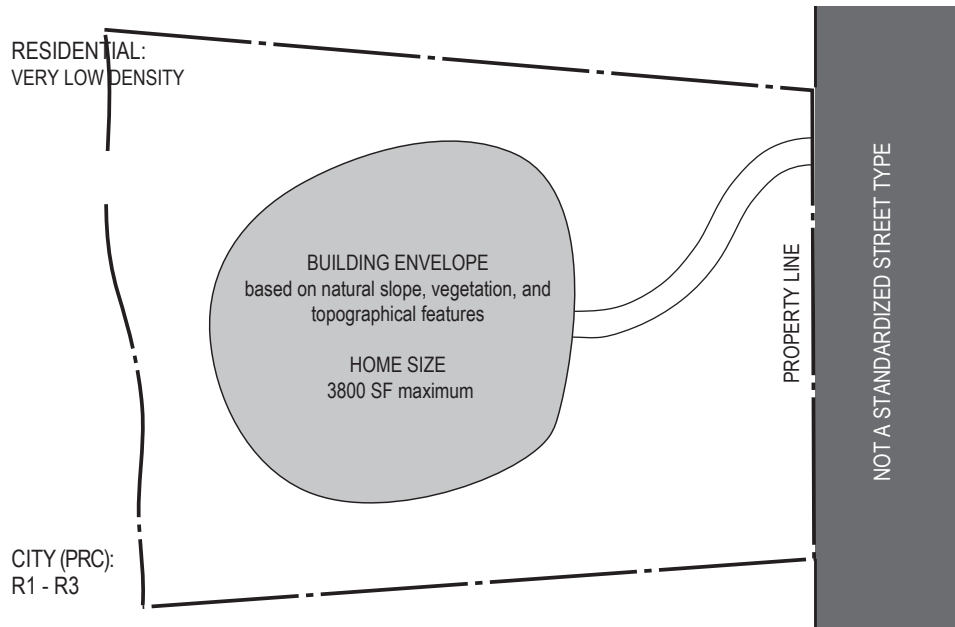
Image 4-46: Santa Fe Eastside



Image 4-47: Santa Fe Eastside



Figure 4 - 20: VERY LOW DENSITY RESIDENTIAL - LOT PLAN DIAGRAM



Residential Very Low Density (1-3 dua)

Intent

Housing in areas south and east of the ridge consist of very low density residential areas. Blocks may be large and the roads irregular to allow for natural topographic conditions. The majority of this area lies within the escarpment overlay zone and must conform to escarpment regulations. Lots will have building envelopes to preserve open space areas. Building envelopes will be based on a detailed site analysis of developable area and defined on the development plan.

Standards

- Parking, garages, carports required to be off street and not visible, with guest parking on street.
- Maximum building area (heated) to be 3,800 square feet.
- Allowable building envelope to be identified. All areas on the property outside the building envelope to remain undisturbed, except for driveway access and utilities.
- For requirements on form within the Very Low Density Residential areas, see Figure 4-20.
- For requirements on allowed uses, see Table 3-2: Permitted Uses.

Guidelines

Encouraged building types (multi-family or single-family; attached or detached):

- Single family detached homes
- Courtyard or cottage court products
- Villas
- Patio homes

5. Open Space + Linear Park

The open space system of the Northwest Quadrant gives shape to the exterior form of the neighborhoods and permeates them with a network of trails and streetscapes. At the core of each neighborhood lies a neighborhood park that serves as the central space for that neighborhood.

The Linear Park along the ridge connects the Northwest Quadrant neighborhoods together and links to regional trails. The plan calls for restoring and revegetating eroded ridgetop areas (*Image 4-49*) and constructing major pedestrian and bicycle trails along the ridge (*Figure 4-21*).

For more information on open space and parks, see *Chapter 6: Landscape Architecture, Section C, Open Space*.

Figure 4 - 21: CONCEPTUAL SECTION OF THE LINEAR PARK TRAIL SYSTEM

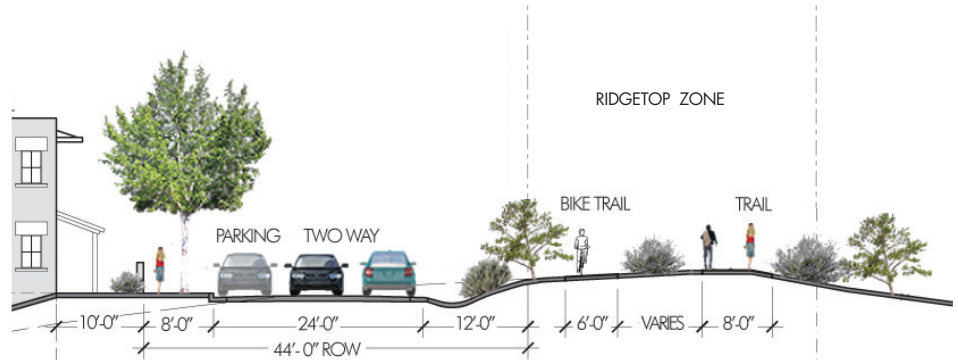


Image 4-48: Future Linear Park



Image 4-49: View of Eroded Ridgetop Lines



Image 4-50: Future Open Space



Image 4-51: View from NWQ



Image 4-52: Future Linear Park



Image 4-53: Future Linear Park



